

TOWNSHIP OF VERONA
BOARD OF ADJUSTMENT APPLICATION

DATE APPLICATION 09/10/2024

CASE # _____

PROPERTY ADDRESS 63 Hillside Avenue (A.K.A. 149 Forest Avenue), Verona, NJ 07044

BLOCK 1902 LOT 1 ZONE R-50

APPLICANT'S NAME EScott Architects, LLC

PHONE # 973-552-8886 CELL PHONE # 973-567-0149

EMAIL evan@escottarchitect.com

PROPERTY OWNER'S NAME Elyse & Eric Toglia

PROPERTY OWNER'S ADDRESS 63 Hillside Avenue (A.K.A. 149 Forest Avenue), Verona, NJ 07044

PROPERTY OWNER'S PHONE # (631) 838-6783 CELL # (631) 838-6783

PROPERTY OWNER'S EMAIL evtoglia@gmail.com

RELATIONSHIP OF APPLICANT TO OWNER Architect for the Owner

REQUEST IS HEREBY MADE FOR PERMISSION TO DO THE FOLLOWING:

Provide a new wrap around covered porch on the two front sides of the house. Provide a new attached garage on one front side of the house. Provide new air condensing units on the side of the house. The house will also have a side addition and second floor addition that do not require variances.

CONTRARY TO THE FOLLOWING:

The existing house currently sits over the required setbacks. The new proposed work will sit over the required setbacks. A new front porch is proposed on two sides and will require a variance. The air handlers will sit over the required setbacks.

LOT SIZE: EXISTING 6,840 SF PROPOSED 6,840 SF TOTAL 6,840 SF

HIEGHT: EXISTING 20'-11" PROPOSED 29'-6"

PERCENTAGE OF BUILDING COVERAGE: EXISTING 15.19% PROPOSED 29.37%

PERCENTAGE OF IMPROVED LOT COVERAGE: EXISTING 30.1% PROPOSED 38.67%

PRESENT USE Residential Single Family PROPOSED USE Residential Single Family

SET BACKS OF BUILDING:	REQUIRED	EXISTING	PROPOSED
FRONT YARD	<u>30'-0"</u>	<u>33'-6.5"</u>	<u>13'-6"</u>
FRONT YARD 2	<u>30'-0"</u>	<u>14'-1"</u>	<u>10'-8"</u>
SIDE YARD (1)	<u>8' (18' TOTAL)</u>	<u>7'-6.5"</u>	<u>7'-6.5"</u>
SIDE YARD (2)	<u>10' (18' TOTAL)</u>	<u>60'-9"</u>	<u>54'-5"</u>

DATE PROPERTY WAS ACQUIRED 10/10/2018

TYPE OF CONSTRUCTION PROPOSED:

Masonry foundation with wood frame and siding. Proposed house to be colonial style. Asphalt shingle roofing

SIGN INFORMATION (if applicable): supply details on location, dimensions, height and illumination

N/A

AREA PER FLOOR (square feet):	EXISTING	PROPOSED	TOTAL
BASEMENT	738 SF	346 SF	1,084 SF
FIRST FLOOR	927 SF	157 SF	1,084 SF
SECOND FLOOR	475 SF	609 SF	1,084 SF
ATTIC	0 SF	530 SF	530 SF

NUMBER OF DWELLING UNITS: EXISTING¹ PROPOSED¹

NUMBER OF PARKING SPACES: EXISTING² PROPOSED²

History of any previous appeals to the Board of Adjustments and the Planning Board

None known.

What are the exceptional conditions that warrant relief from compliance with the Zoning Ordinance?

The existing house sits on a corner lot with plenty of impervious coverage. The problem is the existing house sits unusually close to the two street frontages. This growing family needs to make room and upgrade the curb appeal to their existing house.

Supply a statement of facts showing how relief can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zone Plan and the Zoning Ordinance

Due to the location of the existing house on the property, the existing homeowners are restricted in creating a house that is similar to their neighbors on both sides of the property. They would like to get some additional bedrooms for their growing family and also create a quaint curb appeal that the existing house is severely lacking. Trying to minimize the scale of the house by providing a wrap around porch. The houses across the street also have primary structures very close to the property line.

History of any deed restrictions:

None known.

A legible plot plan or survey to scale (not less than 1"=100') of the property indicating the existing and/or proposed structure and scale drawings of the existing and/or proposed structure must be provided.

A copy of any conditional contract relating to this application must be filed with this application.

If the applicant is a corporation or partnership, the names, addresses and phone numbers of those owning a 10% or greater interest in the corporation shall be provided.

Name	Address	Phone #
Name	Address	Phone #
Name	Address	Phone #
Name	Address	Phone #

Expert witness(es) that will present evidence on behalf of this application:

Attorney: Name _____
 Address _____
 Phone # _____
 Fax # _____
 Email _____

Architect/Engineer: Name EScott Architects, LLC
 Address 28 Arlington Ave, Caldwell, NJ 07006
 Phone # 973-552-8886
 Fax # _____
 Email info@escottarchitects.com

Planner: Name _____
 Address _____
 Phone # _____
 Fax # _____

BOARD OF ADJUSTMENT APPLICATION SITE PLAN

O INDICATES SHRUBS OR TREES

X INDICATES FENCES

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE

HOUSE ON LEFT

APPLICANT'S HOUSE
SHOW THE DISTANCE TO THE
PROPERTY LINE FROM
SURVEY

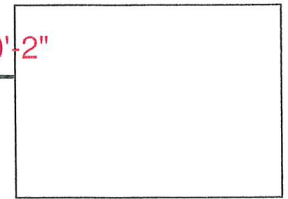
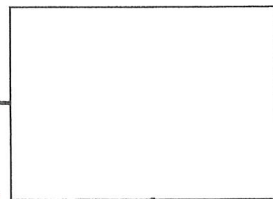
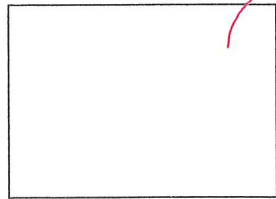
CENTER HOUSE

+/- 15'-0"

7'-6.5"

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE

HOUSE ON RIGHT



60'-9"

+/- 10'-2"

33'-6.5"
FRONT YARD 2

18'-2"
FRONT YARD 1

SET BACK FROM STREET

SET BACK FROM STREET

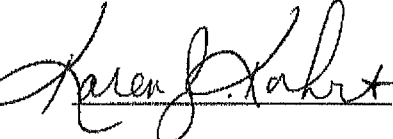
SET BACK FROM STREET


STREET

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY
COUNTY OF ESSEX

Elyse + Eric Togliatti OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW ON
OATH DEPOSED AND SAYS, THAT DEPONENT RESIDES AT 149 Forest Ave, IN THE CITY OF
Verona IN THE COUNTY OF Essex AND STATE OF NJ AND THAT
Elyse Togliatti + Eric Togliatti IS THE OWNER IN FEE OF ALL THAT CERTAIN LOT, PIECE OF LAND,
SITUATED, LYING AND BEING IN THE TOWNSHIP OF VERONA AFORESAID AND KNOWN AND DESIGNATED AS
BLOCK 1902 AND LOT 1 AS SHOWN ON THE TAX MAPS OF THE TOWNSHIP OF VERONA.

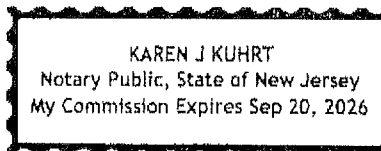

NOTARY


ELYSE TOGLIATTI
OWNER

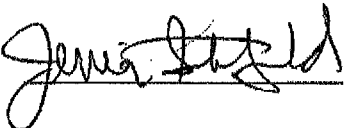

ERIC TOGLIATTI

AFFIDAVIT OF APPLICANT

COUNTY OF ESSEX
STATE OF NEW JERSEY



Evan Scott OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW, ON
OATH DEPOSED AND SAYS THAT ALL OF THE ABOVE STATEMENTS CONTAINED IN THE PAPERS SUBMITTED
HEREWITH ARE TRUE. SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 13 DAY OF September
2024


NOTARY


APPLICANT

JESSICA A STEINFELD
Notary Public of New Jersey
COMMISSION NO. 2362258
COMMISSION EXPIRES 08/22/2027

SHEET 18



TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY
 SCALE 1"=100'
 PREPARED BY
 JANUARY 1, 2017
 JAMES M. HELB, P.E., P.L.S., P.P.
 NEW JERSEY LICENSE NO. 24272
 TRAINING ENGINEER

TAX MAP

JAMES M. HELB, P.E., P.L.S., P.P.

NEW JERSEY LICENSE N
TOWNSHIP ENGINEER
10 COMMERCE COURT
VERONA, NJ 07064

THIS IS A DIGITIZED COPY OF THE TAX MAP
PREPARED BY CASEY & KELLER, INC AND
DATED JAN. 1, 1983. THE APPROVED ORIGINAL
IS ON FILED IN THE OFFICE OF THE ENGINEER

Font Yard - West Side



Font Yard - West Side



Side Yard - South Side



Side Yard - East Side

TOWNSHIP OF VERONA
COUNTY OF ESSEX, NEW JERSEY

TOWNSHIP MANAGER
JOSEPH O. D'ARCO
TOWNSHIP CLERK
JENNIFER KIERNAN



DEPUTY MANAGER
KEVIN O'SULLIVAN
TOWNSHIP ATTORNEY
BRIAN J. ALOIA, ESQ.

VERONA COMMUNITY CENTER
880 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044

MUNICIPAL BUILDING
600 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044
(973) 239-3220
WWW.VERONANJ.ORG

DEPARTMENT OF PUBLIC WORKS
10 COMMERCE COURT
VERONA, NEW JERSEY 07044

Zoning Office

880 Bloomfield Avenue, Verona, NJ 07044

973-857-4772

August 27, 2024

Zoning Permit # 2024-133 – DENIED – Addition, Patio, AC Units (2)

Applicant: Evan Scott
28 Arlington Avenue
Caldwell, NJ 07006

Owner: Elyse & Eric Toglia
63 Hillside Avenue (aka 149 Forest Avenue)
Verona, NJ 07044

Property: 63 Hillside Avenue (aka 149 Forest Avenue); Block 1902, Lot 1

Zone: R-50 (High-Density Single Family) Zone District

Submittals:

This office is in receipt of the following:

- Township of Verona Residential Permit Application;
- Architectural Plans by EScott Architects, LLC, signed and sealed by Evan J. Scott, Reg. Architect, dated June 2024, last revised 6/11/2024.

ZONING REQUEST:

Based upon the zoning permit application is seeking approval to construct a 970 square foot addition, 231 square foot patio and install (2) HVAC units. No other requests have been requested or shown and therefore have not been considered in this departmental review.

ZONING DETERMINATION:

- The property is zoned as R-50 (High-Density Single Family);
- The property is a corner lot with frontages on both Forest Avenue and Hillside Avenue;
- Per § 150-17.5 E (3) Corner lot, frontage upon two streets. A corner lot having frontage upon two improved streets shall have two front yards, one side yard and one rear yard. The rear yard shall be located opposite the more narrow frontage. The minimum side yard setback for such lot shall be 1.5 times the minimum yard requirement.
- Per § 150-17.5 A (1) Single-family homes. The project involves adding an addition to a single-family home;
- Per § 150-17.5 D (1) Minimum lot size: 5,000 square feet where existing is 6,840 square feet – Compliant;

- Per § 150-17.5 D (2) Minimum lot width: 50 feet where existing is 50 feet – Compliant;
- Per § 150-17.5 D (3) Maximum lot coverage is 30% or 2052 square feet; existing is 1039 square feet or 15.19% and proposed is 2009 square feet or 29.37% - Compliant;
- Per § 150-17.5 D (4) Maximum improved lot coverage is 40% or 2736 square feet; existing is 2057 square feet or 30.1% where proposed is 2636 square feet or 38.53% - Compliant;
- Per § 150-17.5 E (1) Minimum front yard setback is 30 feet. The proposed new garage fronting on Hillside Avenue has a proposed front yard setback of 13'6" – **A Variance is required;**
- Per § 150-17.5 E (1) Minimum front yard setback is 30 feet. Per § 150-5.3 G (1) porches are allowed a 5 foot encroachment into the front yard, adjusting the front yard setback to 25 feet. The existing dwelling has a pre-existing non-conforming setback (with no porch) of 18' 2 ½". The proposed new porch has a front yard setback on Forest Avenue of 10'8" – **A Variance is required;**
- Per § 150-17.5 E (1) Minimum front yard setback is 30 feet. Per § 150-5.3 G (1) porches are allowed a 5 foot encroachment into the front yard, adjusting the front yard setback to 25 feet. The proposed new porch has a front yard setback on Hillside Avenue of 24' 9 ½". – **A Variance is required;**
- Per § 150-17.5 E (2) Minimum side yard setback (one): eight feet. Existing dwelling is a pre-existing non-conforming 7' 6 ½" from the NW side property line with proposed setback remaining at 7' 6 ½" – Compliant;
- Per § 150-17.5 E (5) Minimum rear yard setback: 30 feet. Existing setback from the dwelling to the rear property line is 58± feet – Compliant;
- Per § 150-17.5 E (6) Maximum height (stories/feet): 2.5/30 where existing is 1.5 stories with basement and 20'11" in height where proposed is 2.5 stories with basement and 29'6" in height – Compliant;
- Per § 150-5.3 C (6) Patios may be located in any side or rear yard; provided, that they are not closer than five feet to any property line. The minimum side yard setback for a corner lot shall be 1.5 times the minimum yard requirement. A 231 square foot patio is proposed in the rear yard with a rear yard setback of 46'5" and a side yard setback of 7' 6 1/2". The side yard setback is a non-conforming pre-existing setback on the property – Compliant;
- A 36 square foot landing and stairs is proposed from the existing house down 3 feet to the newly proposed patio – Compliant;
- Per § 150-17.5 E (4) Maximum aggregate area covered by accessory structures in the yard it is located in: 15%. Rear yard is 2378 square feet where 15% is 356 square feet; proposed is 343 square feet or 14.4% - Compliant;
- Per § 150-5.3 G (1) porches are allowed a maximum projection of 5 feet, proposed porch has a proposed projection of 8 feet on SW property line, frontage on Forest Ave- **A Variance is required;**
- Per § 150-5.3 G (1) Unenclosed porches may have a roof over same within the yard areas not to exceed a maximum area of 35 square feet in the front yard; The proposed porch is a total of 513 square feet (97± square footage on frontage on Hillside Avenue and 416± square footage on frontage on Forest Avenue) – **Variances are required (one variance per each frontage);**
- The proposed addition maintains the existing setbacks and is therefore compliant;
- Per § 150-7.13 A. No mechanical equipment shall be located within a required minimum yard requirement. Two AC units, 9 square feet each, are proposed on in the side yard 3'5" from the NW property line. Per § 150-17.5 F (1) Minimum side yard setback is eight feet. Per § 150-5.3 E (3) the minimum side yard setback for a corner lot shall be 1.5 times the minimum yard requirement therefor 12 feet is required where 3'5" is proposed – **Variances are required (one per unit);**
- No trees are shown to be removed on the plans; If a tree is to be removed a tree removal permit must be submitted;

- This submission requires Engineering review and approval as the total disturbance is over 400 square feet;
- The proposed limit of disturbance is below 5,000 square feet, so HEPSCD certification will not be required.

Based on the reviewed submitted items, the applicant's request for a Zoning Permit has been **DENIED** by this office.

Please Note:

1. No electrical, plumbing or building codes were reviewed as part of this application. Please feel free to contact this office should you have any questions.

Respectfully Submitted,



Kathleen Miesch

Zoning Official

kmiesch@VeronaNJ.org

cc: Tom Jacobsen, Construction Official
Kristin Spatola, Technical Assistant

ABBREVIATIONS

@	AT	DEM	DEMOLISH, (TION)	FG	FLOAT GLASS	INT	INTERIOR
A/C	AIR CONDITIONING	DET	DETAIL	FH	FULL HEIGHT	JC	JANITOR'S CLOSET
ACT	ACOUSTICAL CEILING TILE	DF	DRINKING FOUNTAIN	FIN	FINISH	JT	JOINT
ADJ	ADJUST (ABLE)	DH	DOUBLE HUNG	FL	FLOOR	KT	KITCHEN
AFF	ABOVE FINISHED FLOOR	DIAG	DIAGONAL	FP	FIREPROOF	KO	KNOCKOUT
AFS	ABOVE FINISHED SLAB	DIM	DIMENSION	FPC	FIREPROOF SELF-CLOSING	L	LENGTH
ALT	ALTERNATE	DN	DOWN	FR	FIRE RETARDANT	LAM	LAMINATE
ALUM	ALUMINUM	DR	DOOR	FS	FULL SIZE	LAV	LAVATORY
		DWG	DRAWING	FUT	FUTURE	LED	LED LIGHTING
BD	BOARD	EA	EACH	GA	GAUGE	LH	LEFT HAND
BLDG	BUILDING	EL	ELEVATION	GC	GENERAL CONTRACTOR	LT	LIGHT
BLKG	BLOCKING	ELEV	ELEVATION	GL	GLASS		
BO	BY OTHERS, BOTTOM OF	ENCL	ENCLOSE	GYP.BD.GYPSUM BOARD			
BOTT	BOTTOM	EQ	EQUAL	HDWR	HARDWARE	MECH	MECHANICAL
BS	BUILDING STANDARD	ETC	ETCETERA	HOR	HOLLOW METAL	MET	METAL
BSMT	BASEMENT	EXP	EXPOSED	HT	HOUR	MISC	MISCELLANEOUS
		EXP	EXPOSED	HTG	HEIGHT	MLDG	MOULDING
C	CARPETING	EXH	EXHAUST	HTG	HEATING	MO	MASONRY OPENING
CAB	CABINET	EXIST	EXISTING	HW	HOT WATER	MTD	MOUNTED
CL	CENTERLINE	EXP	EXPOSED	H	HEATER	MTL	MATERIAL
CLR	CLEAR	EXP	EXPOSED	HVAC	HEATING/VENTILATION	NA	NOT APPLICABLE
CLG	CEILING	EXP	EXPOSED			NIC	NOT IN CONTRACT
CLOS	CLOSET	EXP	EXPOSED			NOM	NOMINAL
COL	COLUMN	EXP	EXPOSED			NTS	NOT TO SCALE
CONC	CONCRETE	EXP	EXPOSED			OA	OVERALL
CONST	CONSTRUCTION	EXP	EXPOSED				
CONTR	CONTRACTOR	EXP	EXPOSED				
CORR	CORRIDOR	EXP	EXPOSED				
CT	CERAMIC TILE	EXP	EXPOSED				

OC	ON CENTER	RET	RETURN	TEMP	TEMPERED
OD	OUTSIDE OF DIAMETER	REV	REVISION	TERR	TERRAZZO, TERRACE
OH	OVERHEAD	R&G	RAISED FLOOR	T&G	TONGUE & GROOVE
OPNG	OPENING	RH	RIGHT HAND	THK	THICK (NESS)
OPP	OPPOSITE	RM	ROOM	T&B	TACKBOARD
		RO	ROUGH OPENING	TO	TRIMMED OPENING
				T.V.	TELEVISION CABLE
				TYP.	TYPICAL
PTD	PAINT (ED)	S	SPEAKER	UC	UNDERCUT
PNL	PANEL	SCH	SCHEDULE	UNF	UNFINISHED
P	PLATE	SD	SMOKE DETECTOR	UON	UNLESS OTHERWISE NOTED
PL	PLASTIC	SECT.	SECTION		
PLUMB	PLUMBING	SG	SAFETY GLASS		
POL	POLISHED	SH	SHEET		
PROJ	PROJECT	SIM	SIMILAR		
PTL	POINT	SP	STARTING POINT		
PTN	PARTITION	SPEC	SPECIFICATION		
PWD	PLYWOOD	SPKR	SPEAKER		
		SQ	SQUARE		
QT	QUARRY TILE	SS	STAINLESS STEEL		
		STD	STANDARD		
		STL	STEEL		
		STOR	STORAGE		
		ST-STL	STAINLESS STEEL		
		SURF	SURFACE		
		SUSP	SUSPENDED		
		T	TREAD		
		T&B	TOP & BOTTOM		
		TEL	TELEPHONE		

TOGLIA RESIDENCE

149 FOREST AVENUE
VERONA, NJ 07044

ZONING DISTRICT
CLIMATE ZONE

RESIDENTIAL - R-50
4A

TAX BLOCK
TAX LOT

1902
1

LOADS

1. ROOF DEAD LOAD:	20 PSF
2. ROOF LIVE LOAD:	30 PSF
3. FLOOR DEAD LOAD (AT WOOD FINISH):	20 PSF
4. FLOOR DEAD LOAD (AT TILE FINISH):	30 PSF
5. FLOOR LIVE LOAD:	40 PSF
6. ATTIC WITHOUT STORAGE:	10 PSF
7. GUARDRAILS AND HANDRAILS:	200 PSF
8. GUARDRAIL INFILL COMPONENTS:	50 PSF
9. STAIRS:	40 PSF
10. SNOW LOAD:	30 PSF
11. WIND LOAD:	115 MPH, 3-SEC GUSTS
12. RISK CATEGORY:	II

BULK CALCULATIONS

LOT AREA:	6,840 SQ.FT.
BUILDING COVERAGE EXISTING	1,039 SF / 6,840SF = 15.19%
EXISTING HOUSE	927 SF
EXISTING SHED	112 SF
BUILDING COVERAGE PROPOSED	2,009 SF / 6,840SF = 29.37%
REQUIRED	30%
PROPOSED HOUSE	1,084 SF
PROPOSED PORCH	513 SF
PROPOSED ATTACHED GARAGE	300 SF
EXISTING SHED	112 SF
IMPERVIOUS COVERAGE EXISTING	2,057 SF / 6,840 SF = 30.1%
EXISTING HOUSE	927 SF
EXISTING SHED	112 SF
EXISTING DRIVEWAY	568 SF
EXISTING FRONT WALK	255 SF
EXISTING REAR PATIO	195 SF
IMPERVIOUS COVERAGE PROPOSED	2,634 SF / 6,840 SF = 38.67%
REQUIRED	40%
PROPOSED HOUSE	1,084 SF
PROPOSED GARAGE	300 SF
PROPOSED FRONT PORCH	513 SF
EXISTING SHED	112 SF
PROPOSED DRIVEWAY	273 SF
PROPOSED FRONT WALK	105 SF
PROPOSED REAR PATIO	240 SF
PROPOSED A/C CONDENSER	18 SF

BUILDING AREA

EXISTING BASEMENT FLOOR:	738 SQ.FT.
ADDITION TO BASEMENT:	346 SQ.FT.
TOTAL BASEMENT FLOOR:	1,084 SQ.FT.
EXISTING FIRST FLOOR:	927 SQ.FT.
ADDITION TO FIRST FLOOR:	157 SQ.FT.
TOTAL FIRST FLOOR:	1,084 SQ.FT.
EXISTING SECOND FLOOR:	475 SQ.FT.
ADDITION TO SECOND FLOOR:	609 SQ.FT.
TOTAL SECOND:	1,084 SQ.FT.
TOTAL FLOOR AREA:	2,168 SQ.FT.
TOTAL FLOOR AREA RATIO:	2,168 SQ.FT. / LOT 6,840 SQ.FT. = 31.7%
PROPOSED ADDITION VOLUME:	1,256 CU.FT. FIRST FLOOR 4,872 CU.FT. SECOND FLOOR 6,128 CU.FT. NEW TOTAL

BUILDING HEIGHT

EXISTING HEIGHT:	1.5 STORY W/ BASEMENT ±20'-11"
PROPOSED HEIGHT:	2.5 STORY W/ BASEMENT 29'-6"

HEIGHT CALCULATION

1. FINISHED FIRST FLOOR:	0'-0"
2. FRONT RIGHT CORNER:	-2'-9"
3. FRONT MIDDLE:	-1'-10"
4. FRONT LEFT CORNER:	-2'-3"
5. REAR RIGHT CORNER:	-4'-0"
6. REAR LEFT CORNER:	-4'-3"
AVERAGE GRADE HEIGHT:	-3'-1"
ROOF LINE ABOVE FINISHED FIRST FLOOR:	26'-9"
HEIGHT OF NEW BUILDING ABOVE GRADE:	29'-10"

SETBACKS

NORTH FRONT SETBACK:	PROPOSED 13'-6" (VARIANCE REQ'D)	REQUIRED 30'-0"
SOUTH SIDE SETBACK:	54'-5"	10'-0" (18' TOTAL)
WEST FRONT SETBACK:	10'-8" (VARIANCE REQ'D)	30'-0"
EAST SIDE SETBACK:	7'-6" (EXIST TO REMAIN)	8'-0" (18' TOTAL)

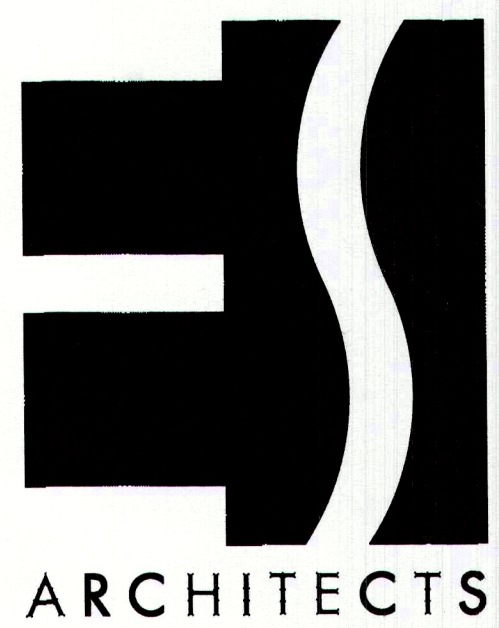
CODE COMPLIANCE

GOVERNING CODE OF NEW ADDITION AND INTERIOR ALTERATIONS TO BE PER:

- INTERNATIONAL RESIDENTIAL CODE, NJ ADDITION 2021
- REHABILITATION SUBCODE - NJAC 5:23-6
- NATIONAL ELECTRICAL CODE, 2020
- NATIONAL STANDARD PLUMBING CODE, 2021
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 (RESIDENTIAL)

PROJECT SCOPE

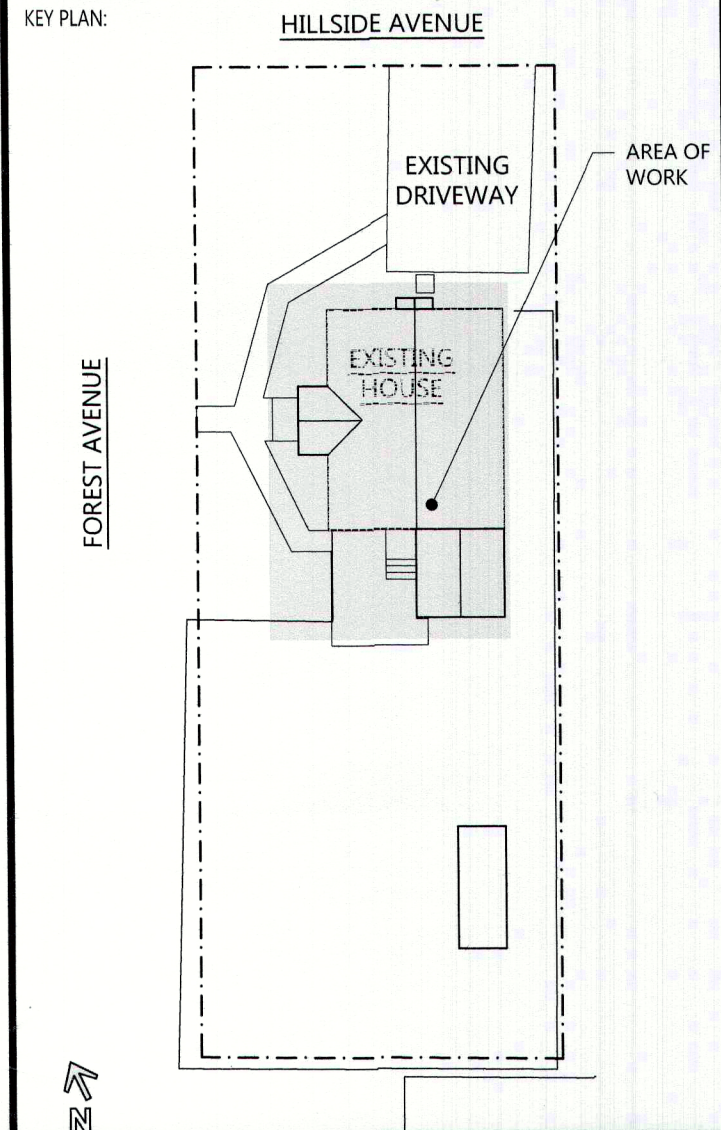
- EXISTING CAPE COD STYLE HOUSE TO HAVE SECOND FLOOR AND ROOF COMPLETELY REMOVED. PROVIDE A 2-STORY ADDITION AT SIDE YARD AND PROVIDE A FULL SECOND FLOOR ADDITION AT MAIN EXISTING HOUSE.
- PROVIDE NEW FRONT PORCH THAT WRAPS AROUND AND IS IN BOTH FRONT YARDS. MOVE THE ENTRY DOOR AND STEPS FROM FOREST AVENUE TO HILLSIDE AVENUE.
- PROVIDE A NEW ATTACHED ONE CAR GARAGE ON THE HILLSIDE FRONT YARD. GARAGE TO REPLACE THE EXISTING ASPHALT DRIVEWAY.
- PROVIDE A NEW REAR PATIO OFF OF THE NEW ADDITION.



EScott Architects, LLC

28 Arlington Avenue
Caldwell, NJ 07006

P. 973.552.8886 | F. 973.680.1905 | info@escottarchitects.com



DRAWING LIST - JOB # ES-2413

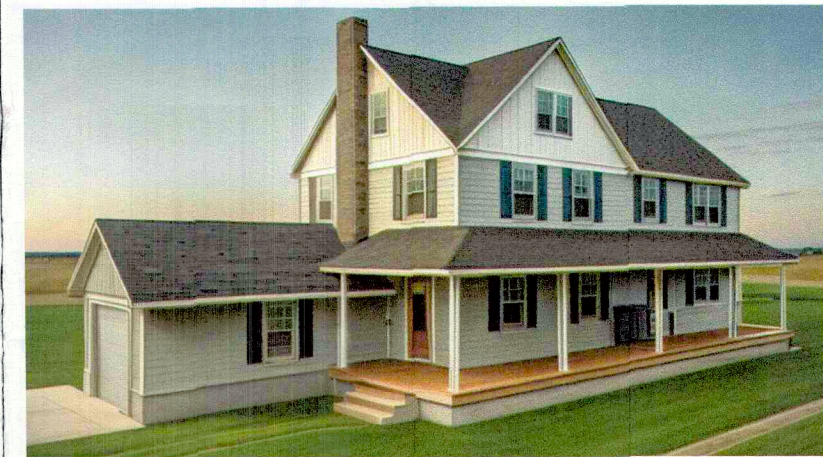
ARCHITECTURAL:

- A-01 - SITE PLAN, CODES, AND NOTES
- A-02 - DEMOLITION FLOOR PLANS
- A-03 - DEMOLITION ELEVATIONS
- A-04 - PROPOSED FLOOR PLANS
- A-05 - PROPOSED ELEVATIONS



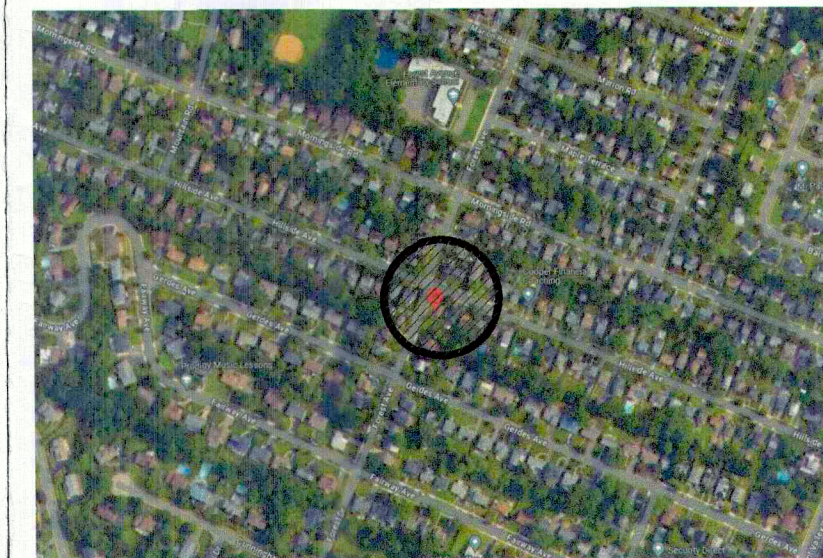
PROJECT PHOTOGRAPH - FRONT ELEVATION

N.T.S.



PROPOSED HOUSE - FRONT ELEVATION

N.T.S.



AERIAL MAP

N.T.S.

1 06/11/24 ISSUED FOR ZONING

NO. DATE DESCRIPTION

PROJECT:

TOGLIA
RESIDENCE

149 FOREST AVENUE
VERONA, NJ 07044



DRAWING TITLE:

SITE PLAN,
CODES AND
DETAILS

DRAWN BY:

ES

CHECKED BY:

ES

DATE:

APRIL 2024

PROJECT NO:

ES-2413

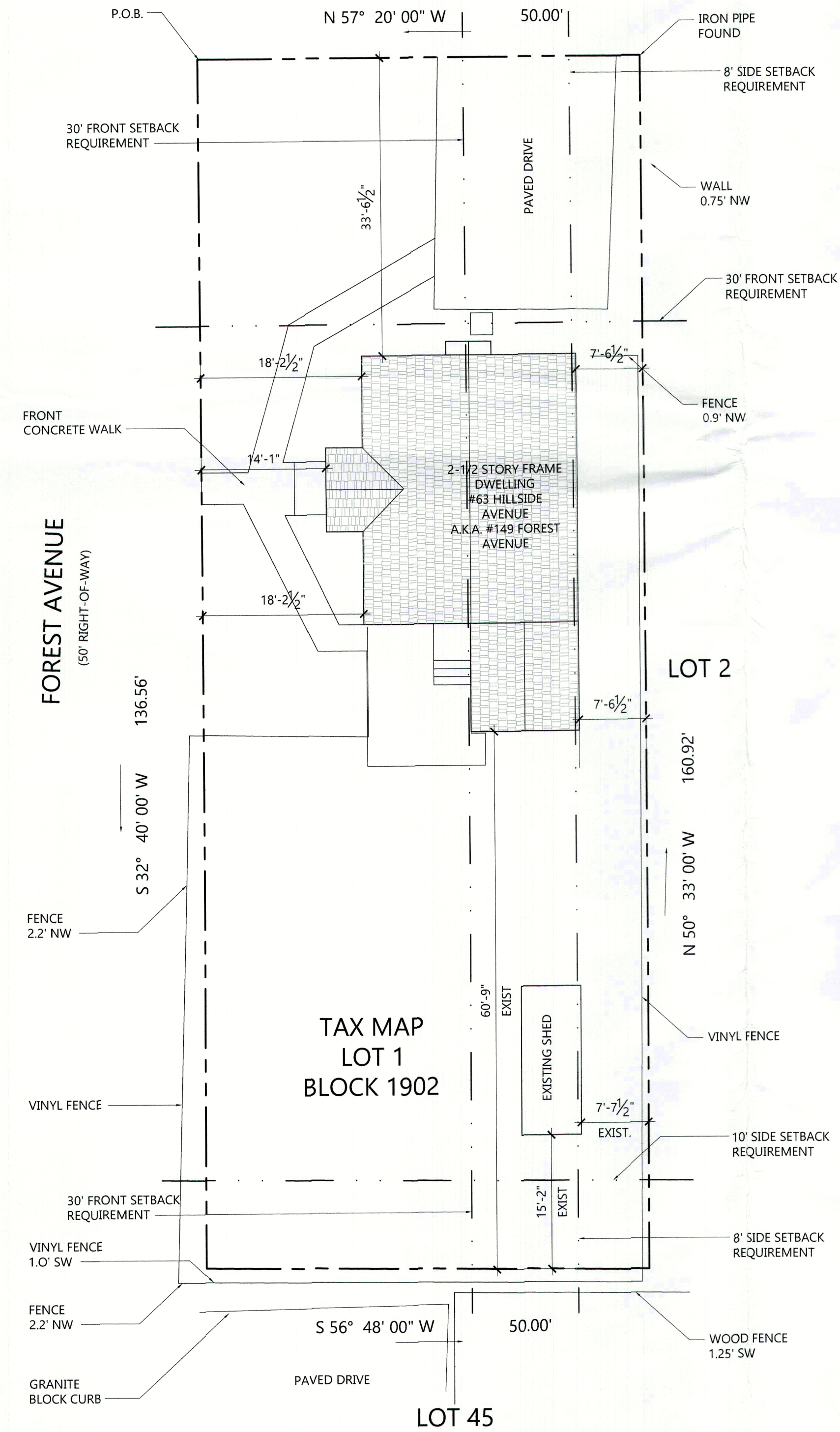
DRAWING NO:

A-01

SHEET: 1 OF 5

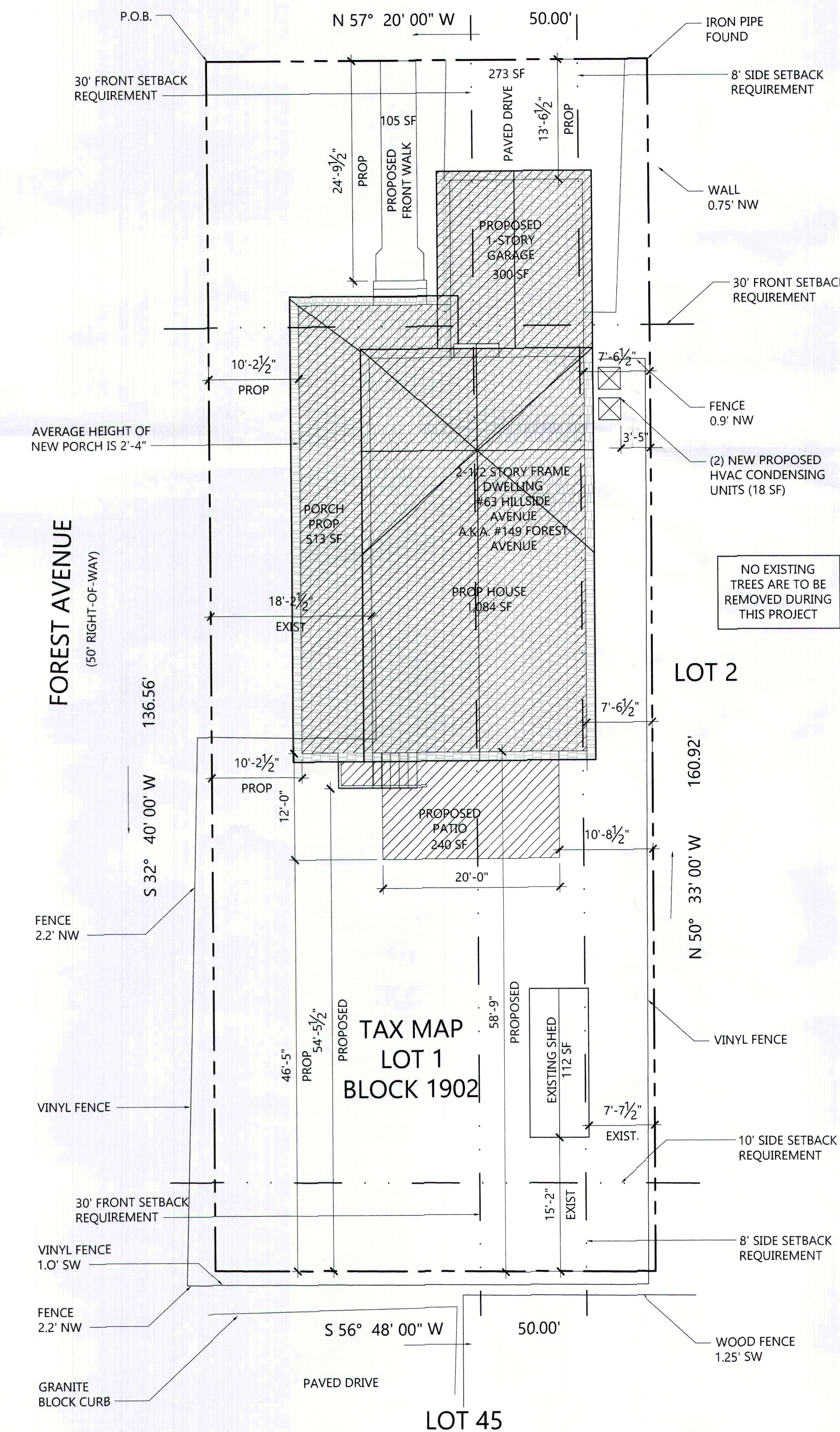
HILLSIDE AVENUE

(50' R.O.W.)



HILLSIDE AVENUE

(50' R.O.W.)



1 EXISTING SITE PLAN

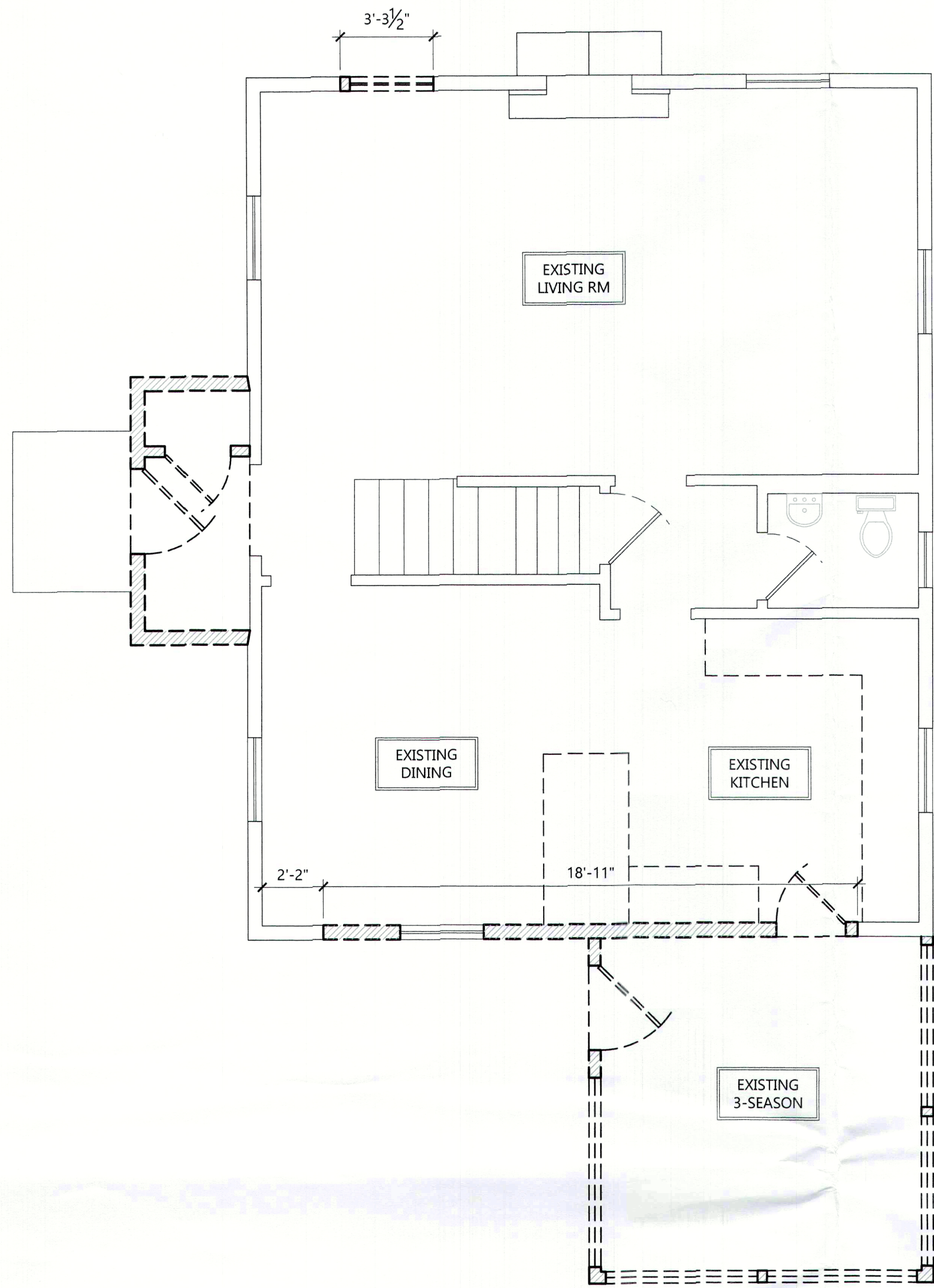
A-01 SCALE: 3/32" = 1'-0"



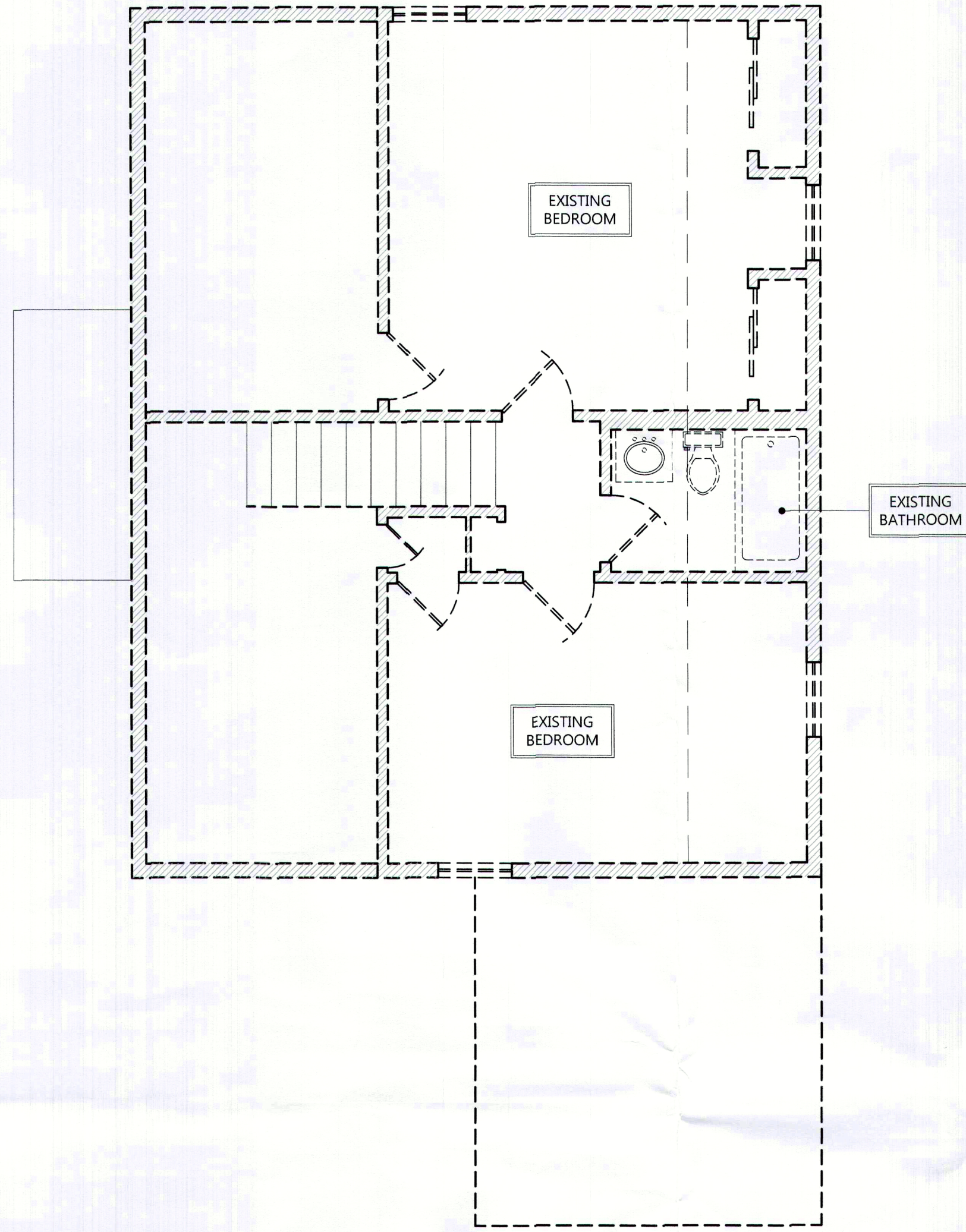
2 PROPOSED SITE PLAN

A-01 SCALE: 3/32" = 1'-0"

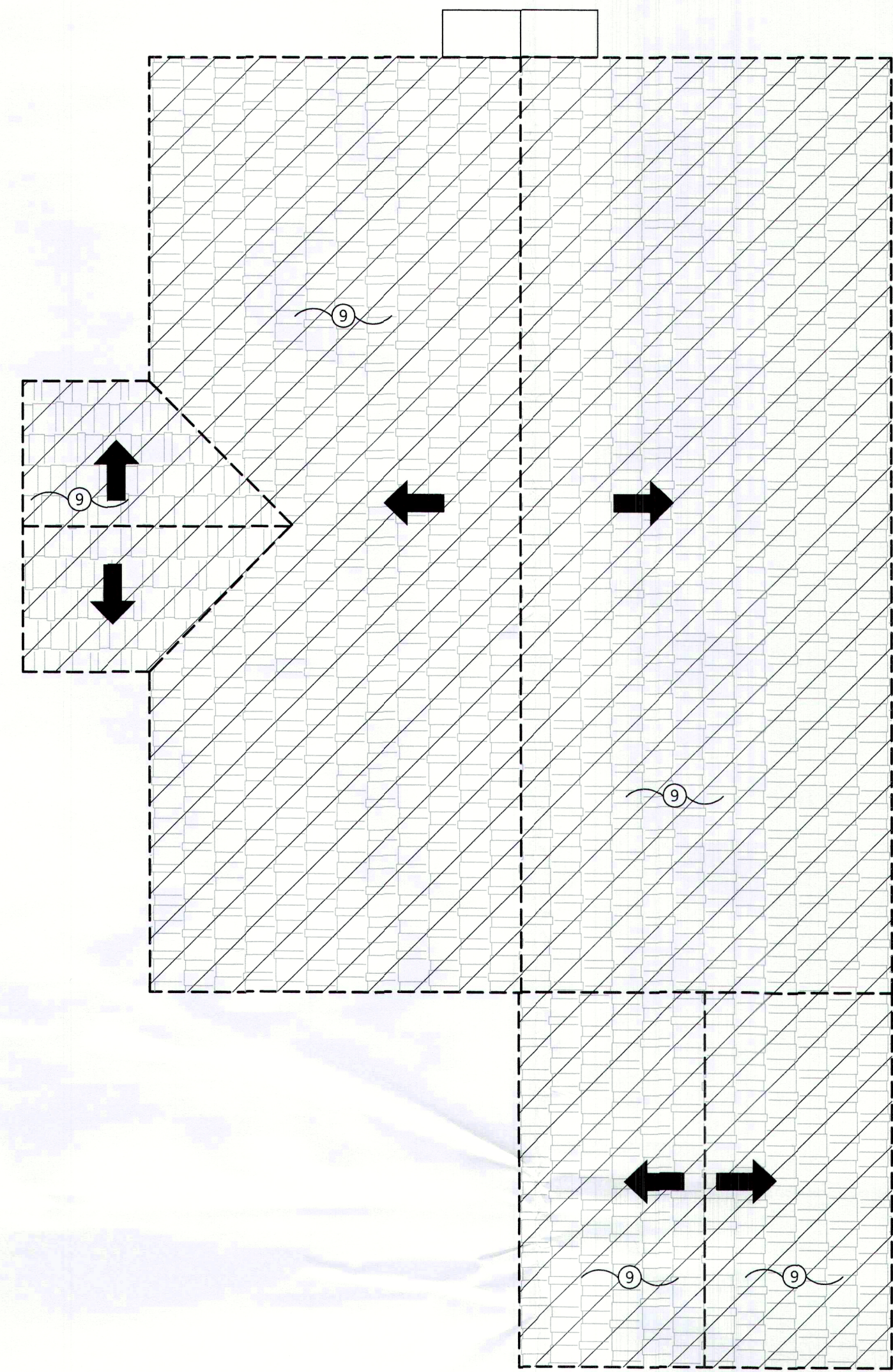




1 DEMOLITION FIRST FLOOR PLAN
A-02 SCALE: 1/4" = 1'-0" 0 2' 4' 8' PLAN ACTUAL



2 DEMOLITION FIRST FLOOR PLAN
A-02 SCALE: 1/4" = 1'-0" 0 2' 4' 8' PLAN ACTUAL



3 DEMOLITION FIRST FLOOR PLAN
A-02 SCALE: 1/4" = 1'-0" 0 2' 4' 8' PLAN ACTUAL

DEMOLITION KEY NOTES

- EXISTING EXTERIOR WALL TO BE REMOVED IN ITS ENTIRETY INCLUDING SHEATHING, STUDS, INSULATION, BLOCKING & THE LIKE. PROVIDE NEW STRUCTURAL SHORING FOR THE REMOVAL OF LOAD BEARING WALL. SEE CONSTRUCTION PLANS FOR NEW BEAM DETAIL AT HOUSE ADDITION.
- EXISTING WALL INTERIOR PARTITION TO BE REMOVED.
- REMOVE EXISTING DOOR, FRAMING, TRIM & ASSOCIATED HARDWARE. SALVAGE ALL DOOR HARDWARE FOR POSSIBLE REUSE.
- REMOVE EXISTING WINDOW, WINDOW FRAMING, TRIM AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
- EXISTING WOOD FLOORING TO REMAIN AND BE PROTECTED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO NAILERS, SUB-FLOOR AND THE LIKE.
- EXISTING PLUMBING FIXTURE TO REMAIN.
- EXISTING PLUMBING FIXTURES TO BE REMOVED. EXISTING FINISHES TO BE REMOVED.
- EXISTING CEILING TO REMAIN. REPAIR ANY ALTERED CEILING AFTER DEMOLITION. MATCH EXISTING FINISH. SEE ROOM FINISH SCHEDULE FOR MORE INFORMATION.
- REMOVE EXISTING ROOF ASSEMBLY THROUGHOUT FOR NEW 2ND FLOOR FULL ADDITION.
- EXISTING HEATING SYSTEM TO BE REMOVED AND SALVAGED FOR NEW 2ND FLOOR FULL ADDITION.

GENERAL DEMOLITION NOTES

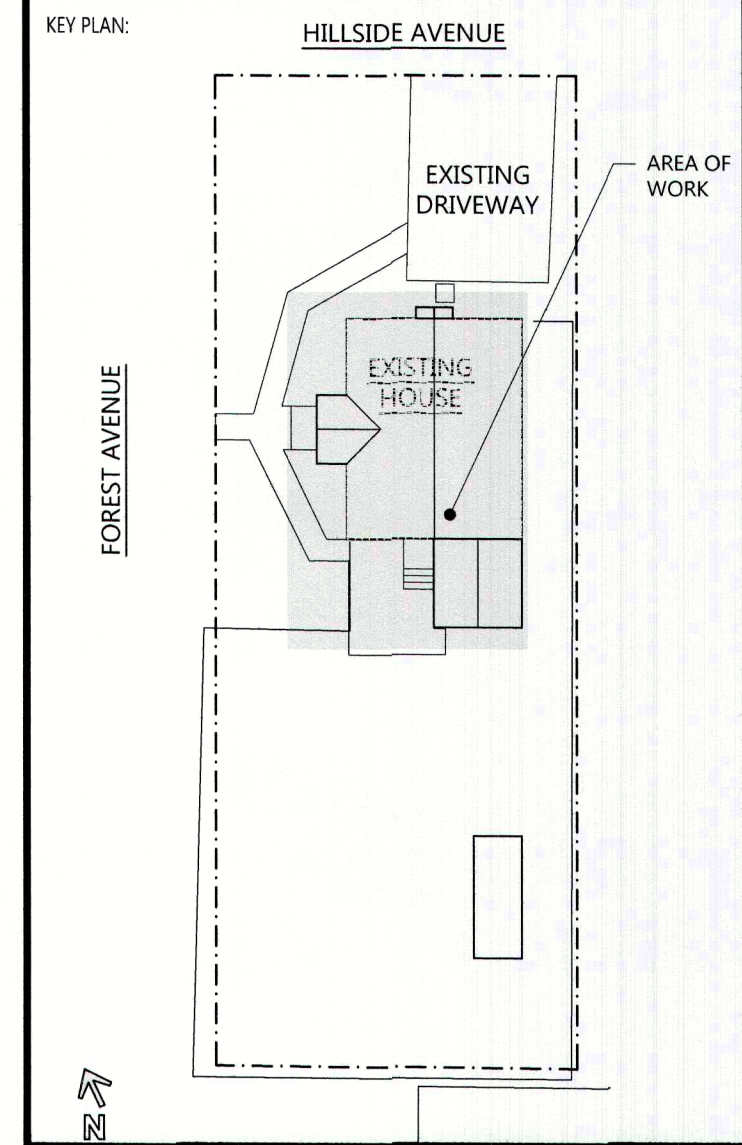
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF DEMOLITION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, WALL PARTITIONS, BEAMS ETC. DURING DEMOLITION TO MAINTAIN STRUCTURAL INTEGRITY. SEE STRUCTURAL NOTES ON DRAWING A-09.
- CONTRACTOR SHALL COVER AND TARP AREAS OF ROOF DURING DEMOLITION AND CONSTRUCTION TO ENSURE NO WATER AND DEBRIS PENETRATION.
- CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH OTHER TRADES.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL DEMOLITION WORK.
- CONTRACTOR SHALL REMOVE ANY UNUSED PLUMBING IN FLOOR PRIOR TO COMMENCING WORK. CONTRACTOR TO RELOCATE ANY EXISTING PIPING OBSTRUCTING WITH NEW WORK.
- EXISTING ELECTRICAL CONDUIT, WIRES AND BOXES IN AREAS OF WORK SHALL BE REMOVED AND REPLACED WITH NEW. ENSURE EXISTING OUTLETS, SWITCHES AND LIGHTS TO REMAIN ARE IN WORKING ORDER.
- CONTRACTOR TO VERIFY NO EXISTING TELECOMMUNICATION WIRES, COAXIAL CABLE AND OTHER EXISTING WIRING OR DEVICES ARE REMOVED AND OR DAMAGED DURING DEMOLITION.
- ALL EXISTING SIDING TO BE REMOVED DOWN TO EXTERIOR BUILDING WRAP. PREP FOR NEW SIDING.

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- EXISTING TO BE DEMOLISHED
- WINDOW TO BE REMOVED
- DOOR & FRAME TO BE REMOVED
- NAME ROOM NAME



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1	06/11/24	ISSUED FOR ZONING
NO.	DATE	DESCRIPTION

PROJECT:
**TOGLIA
RESIDENCE**

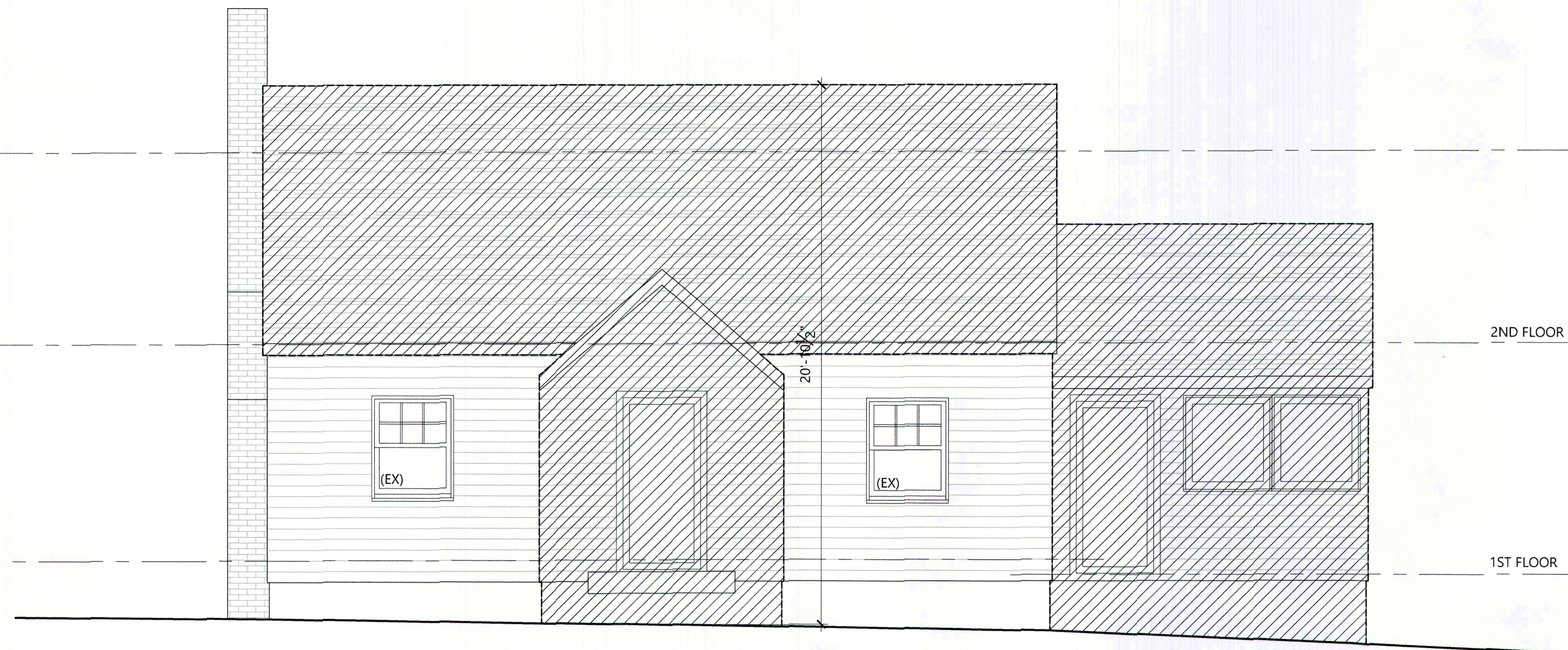
149 FOREST AVENUE
VERONA, NJ 07044



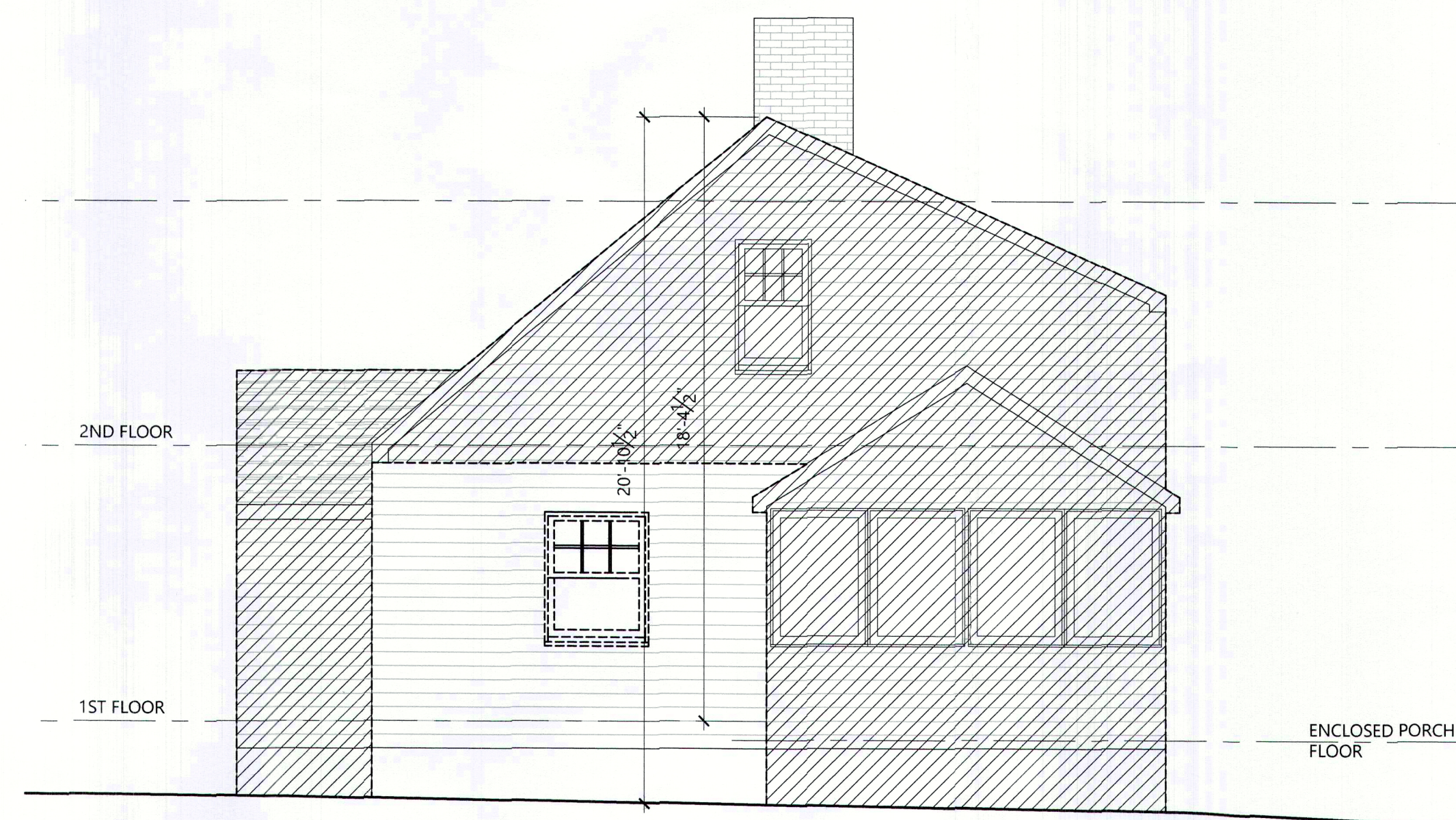
DRAWING TITLE:
**DEMOLITION
PLANS AND NOTES**

DRAWN BY: MF	CHECKED BY: ES
DATE: JUNE 2024	PROJECT NO.: ES-2414

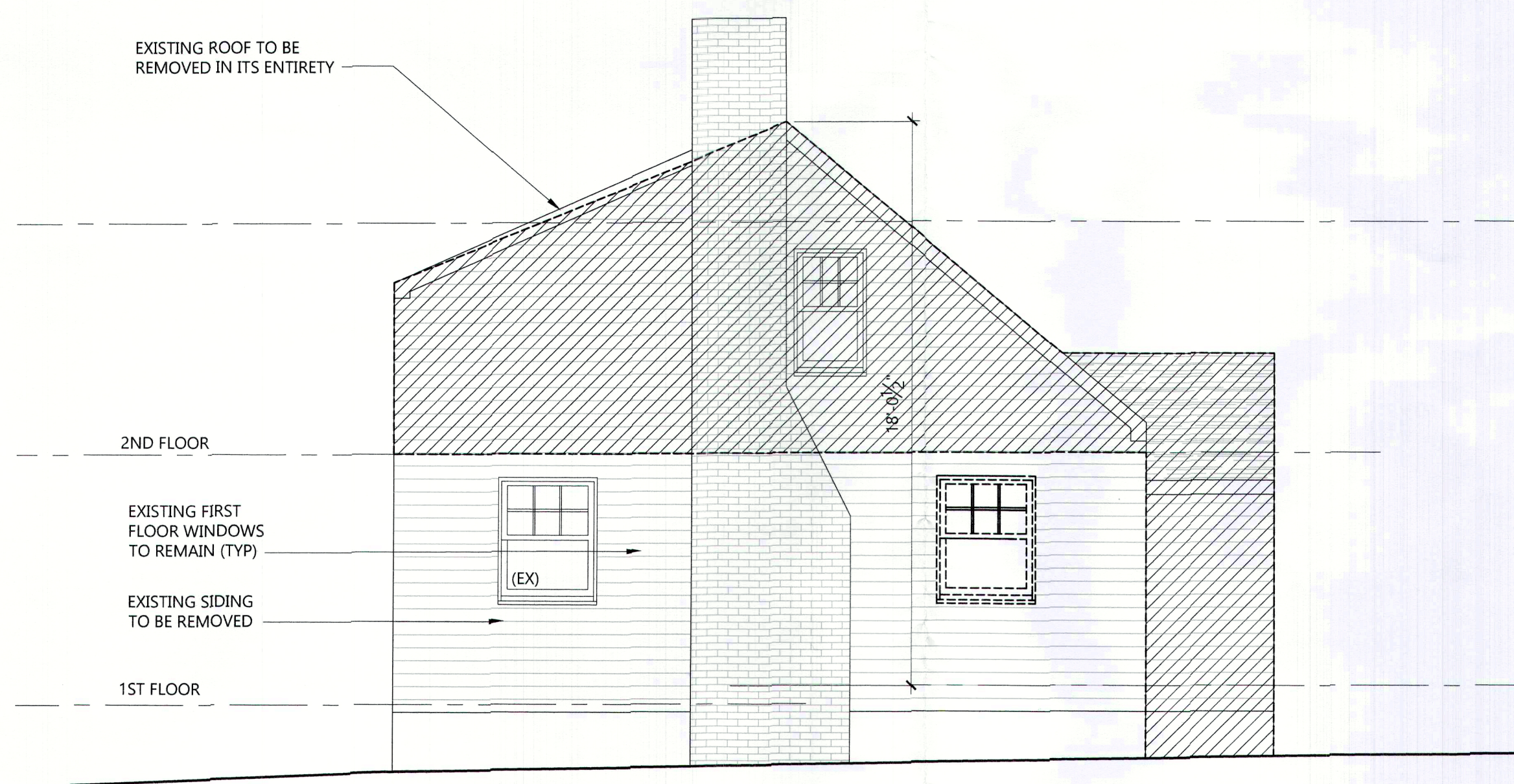
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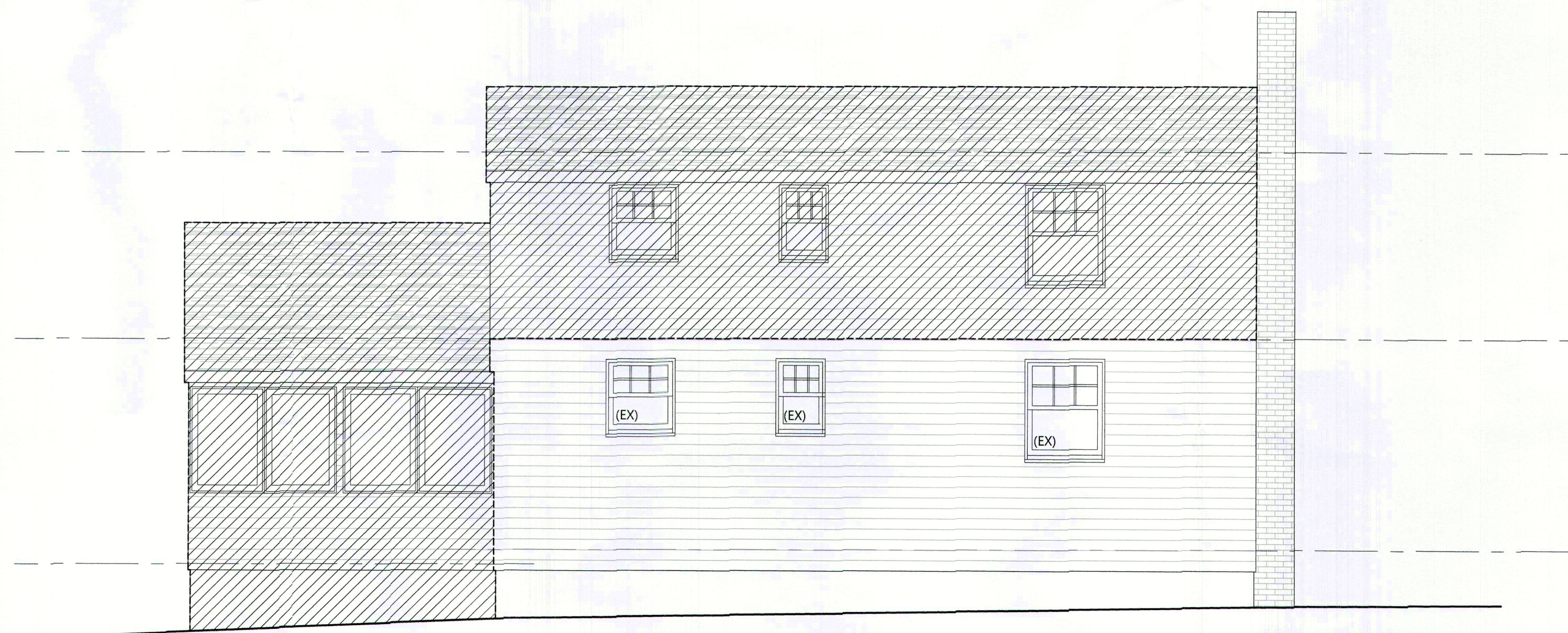
1 WEST
DEMOLITION ELEVATION - FRONT
A-03 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



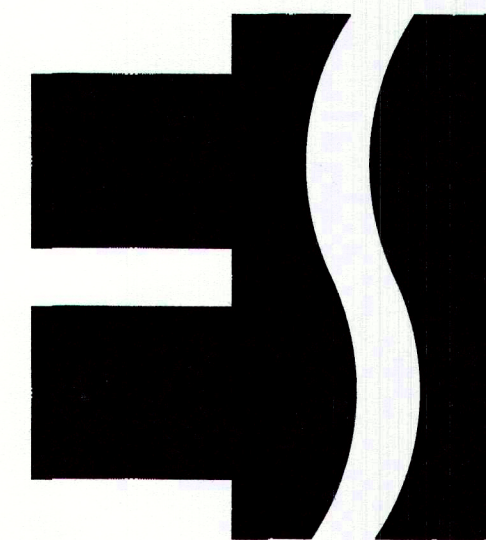
2 NORTH
DEMOLITION ELEVATION - FRONT SIDE
A-03 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



3 SOUTH
DEMOLITION ELEVATION - SIDE
A-03 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



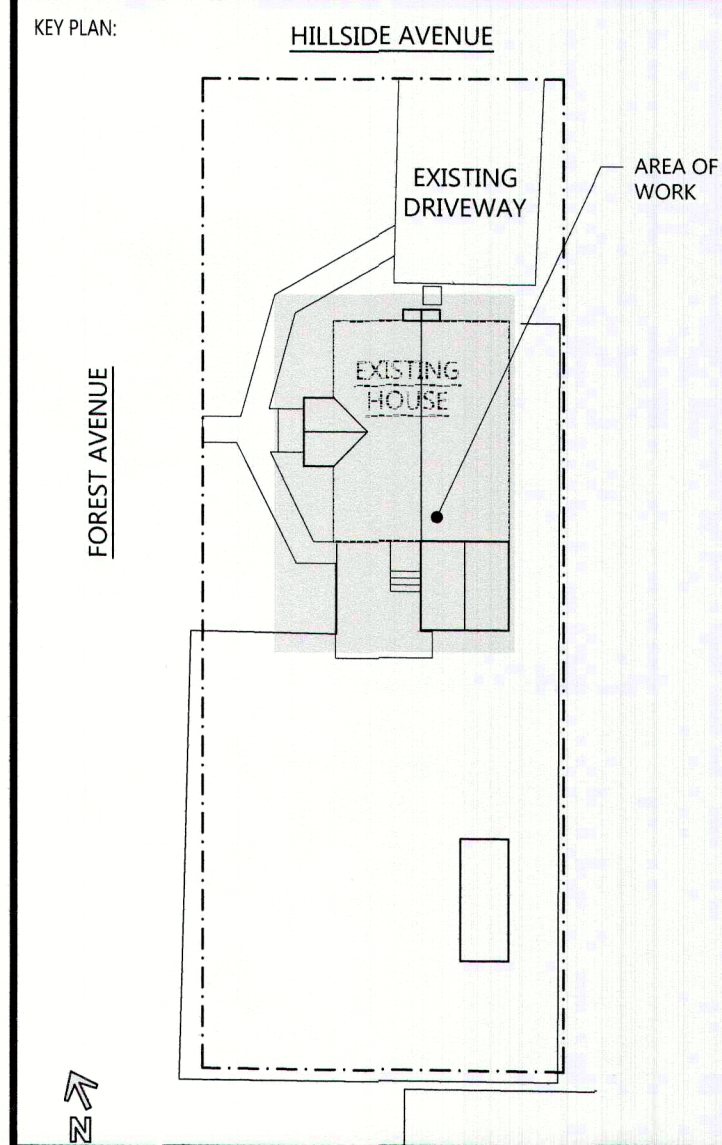
3 EAST
DEMOLITION ELEVATION - REAR SIDE
A-03 SCALE: 1/4" = 1'-0" 0 2' 4' 8'



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PROJECT:

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DRAWING TITLE:

DEMOLITION
ELEVATIONS

DRAWN BY:

HM

CHECKED BY:

ES

DATE:

JUNE 2024

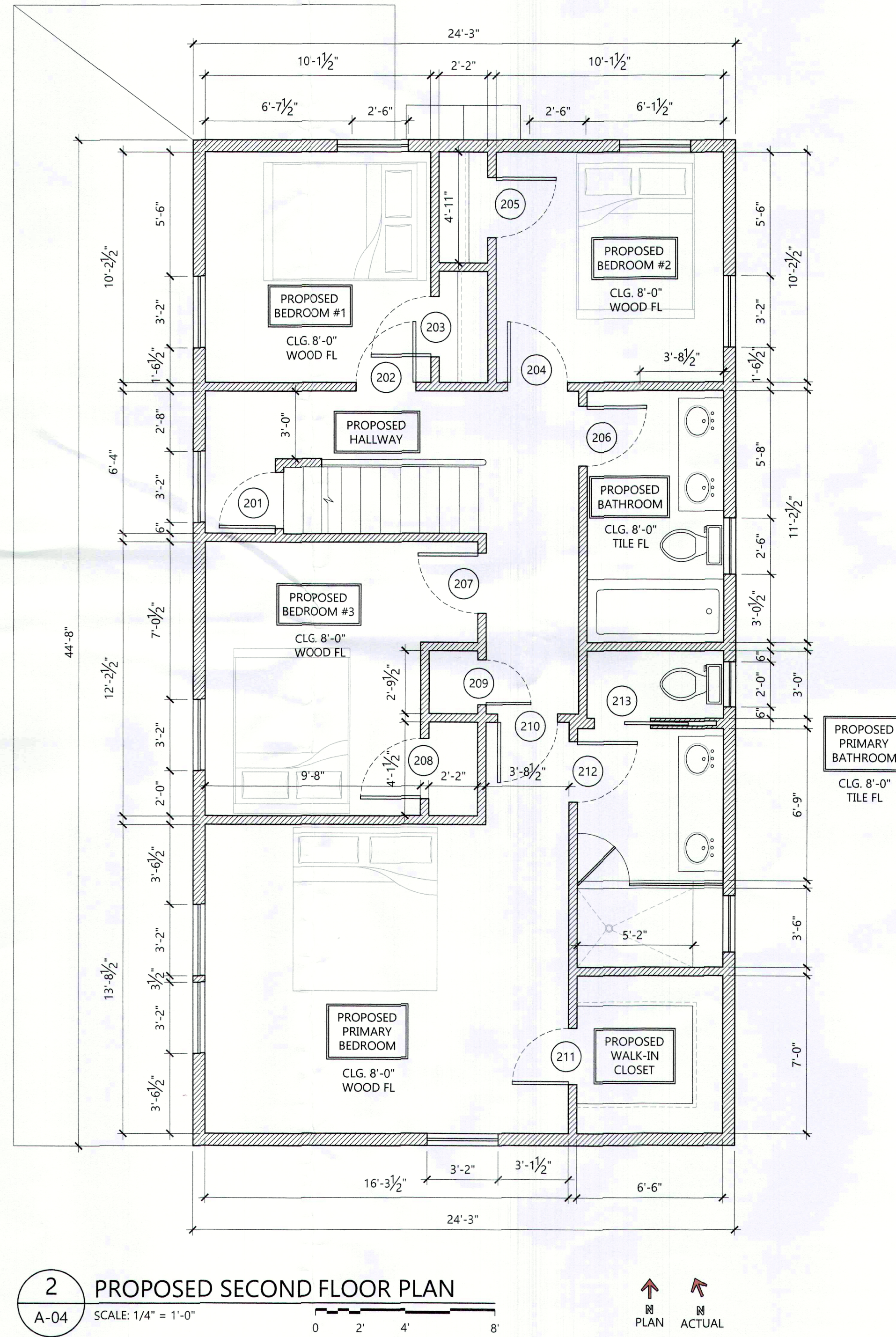
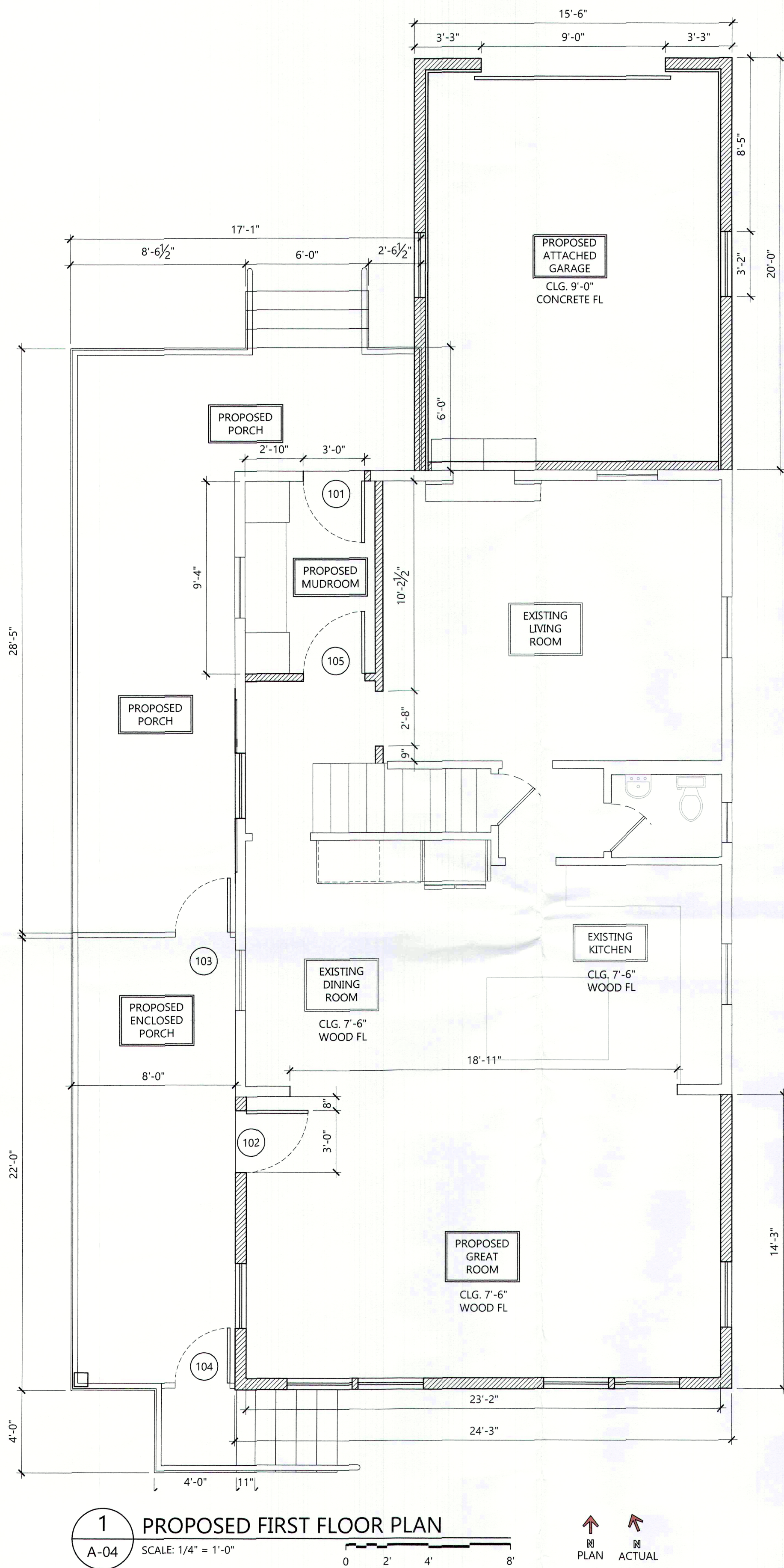
PROJECT NO:

ES-2413

DRAWING NO:

A-03

SHEET: 3 OF 5



CONSTRUCTION PLAN LEGEND

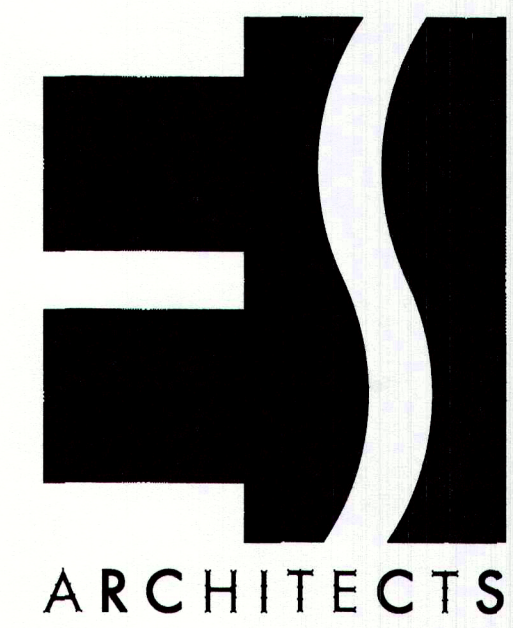
- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- 4" TYP.
NEW DOOR & FRAME TO BE INSTALLED
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED
SEE WINDOW SCHEDULE FOR TYPE
- NAME
ROOM NAME
- DET. #
ELEVATION/SECTION KEY
DWG #
- XX
DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

- DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
- CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
- ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION & PROVIDE 1.5" INSULATED ZIP WALL HEATING SYSTEM ON EXTERIOR. NEW FLOOR TO HAVE R-19, R-30 AT VAULTED CEILING & R-60 IN FLAT CEILING AS PER NJ IRC 2021 1102.1.2 AND IECC 402.1.1. R-48 PERMITTING IN CEILING IF CONTINUOUS BATT DRAPED OVER CEILING JOISTS.
- PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
- CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16: CFR 1201.
- NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
- PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
- FOR ALL NEW HEADERS AT NEW OPENINGS, SEE SHEET A-09, FRAMING LUMBER, NOTE #19.

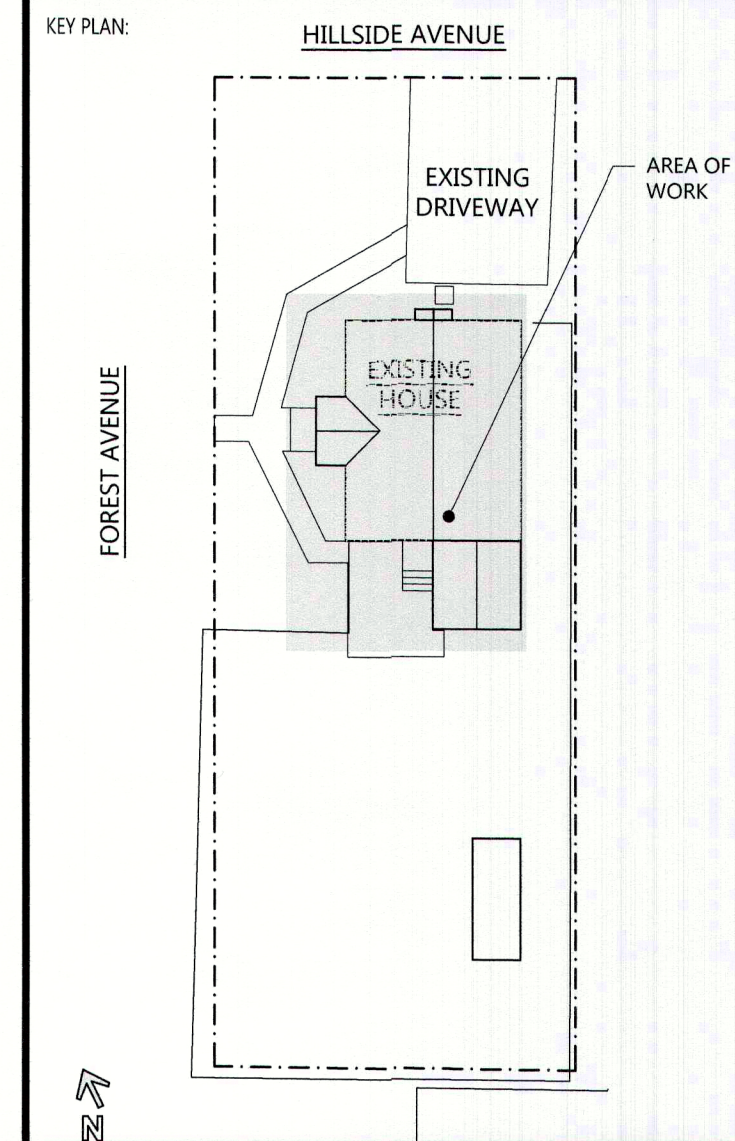
CONSTRUCTION KEY NOTES

- NEW TYP. INTERIOR 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP. BD. ON BOTH SIDES OF WALL.
- NEW 2X6 WOOD STUD WALL EXTERIOR WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION, 1.5" ZIP WALL EXTERIOR SHEATHING WITH INTEGRAL CONTINUOUS INSUL. AND VAPOR BARRIER. NEW SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- NEW T&G WOOD FLOORING TO MATCH EXISTING FIRST FLOOR AS CLOSELY AS POSSIBLE OR NEW SELECTED BY OWNER. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- NEW BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- NEW CLOSET SHELVING AS SELECTED BY OWNER.
- NEW CURBLESS WALK-IN TILE SHOWER WITH 1/2" TEMPERED GLASS DOORS AND BUILT-IN BENCH. PROVIDE NICHE IN SHOWER AS SELECTED BY OWNER.
- NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- NEW HEATING AND A/C TO BE CONFIRMED WITH OWNER. SPEC FORCED HOT AIR AS REFERENCE.
- NEW BEAM. SEE STRUCTURAL SIZE OPTIONS IN PLAN.
- ENTIRE ROOF ASSEMBLY TO BE REMOVED IN ITS ENTIRETY INCLUDING ROOF RAFTERS, RIDGES, SHEATHING, BUILDING WRAP AND SHINGLES.
- AFTER WALL REMOVAL, INSTALL NEW STAIR RAILING- & SUPPORT POST.



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RESIDENCE**

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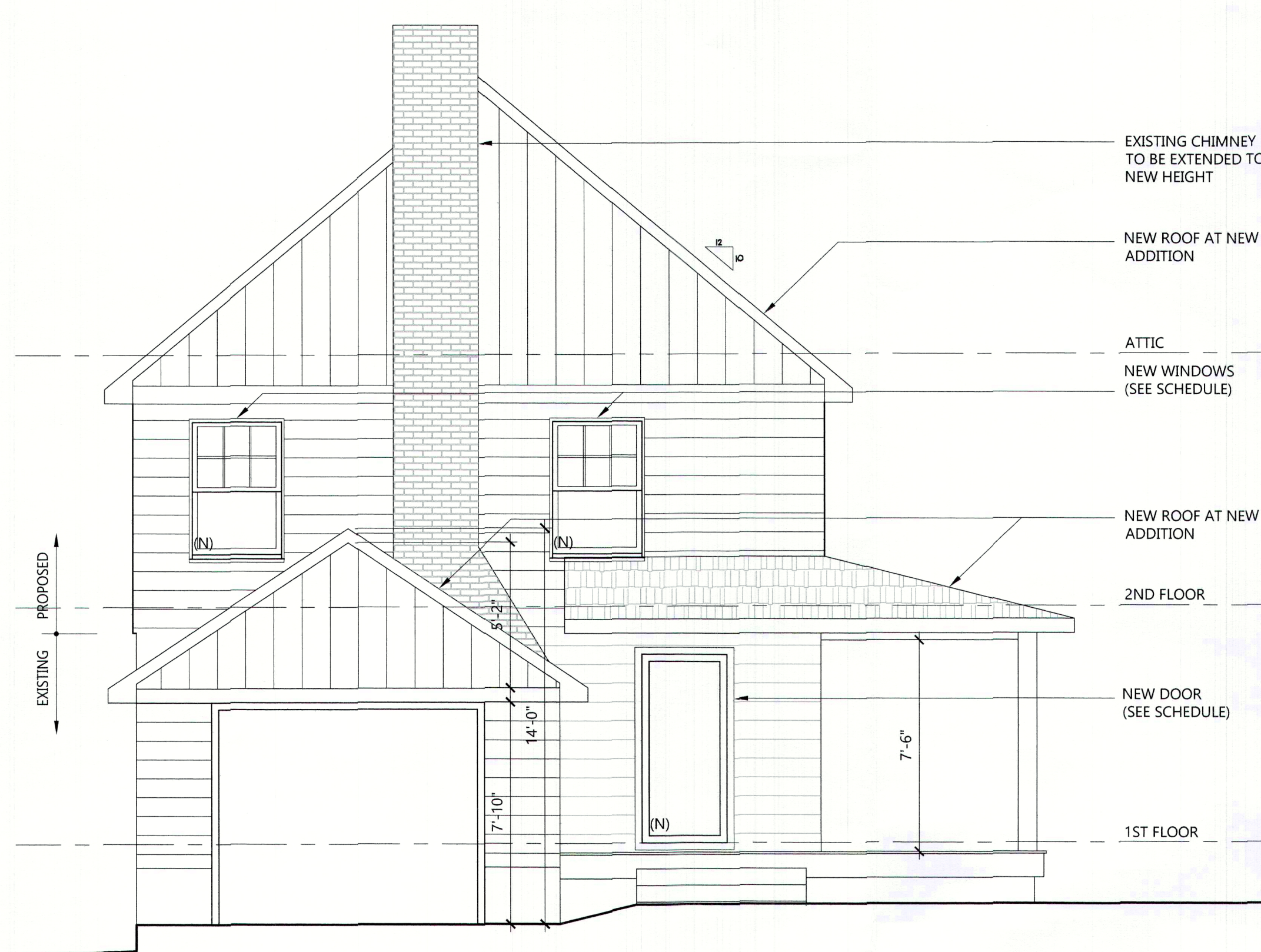
**PROPOSED
FLOOR PLANS
& ROOF PLAN**

DRAWN BY:	CHECKED BY:
HM	ES
DATE:	PROJECT NO:
JUNE 2024	ES-2413

DRAWING NO:

A-04

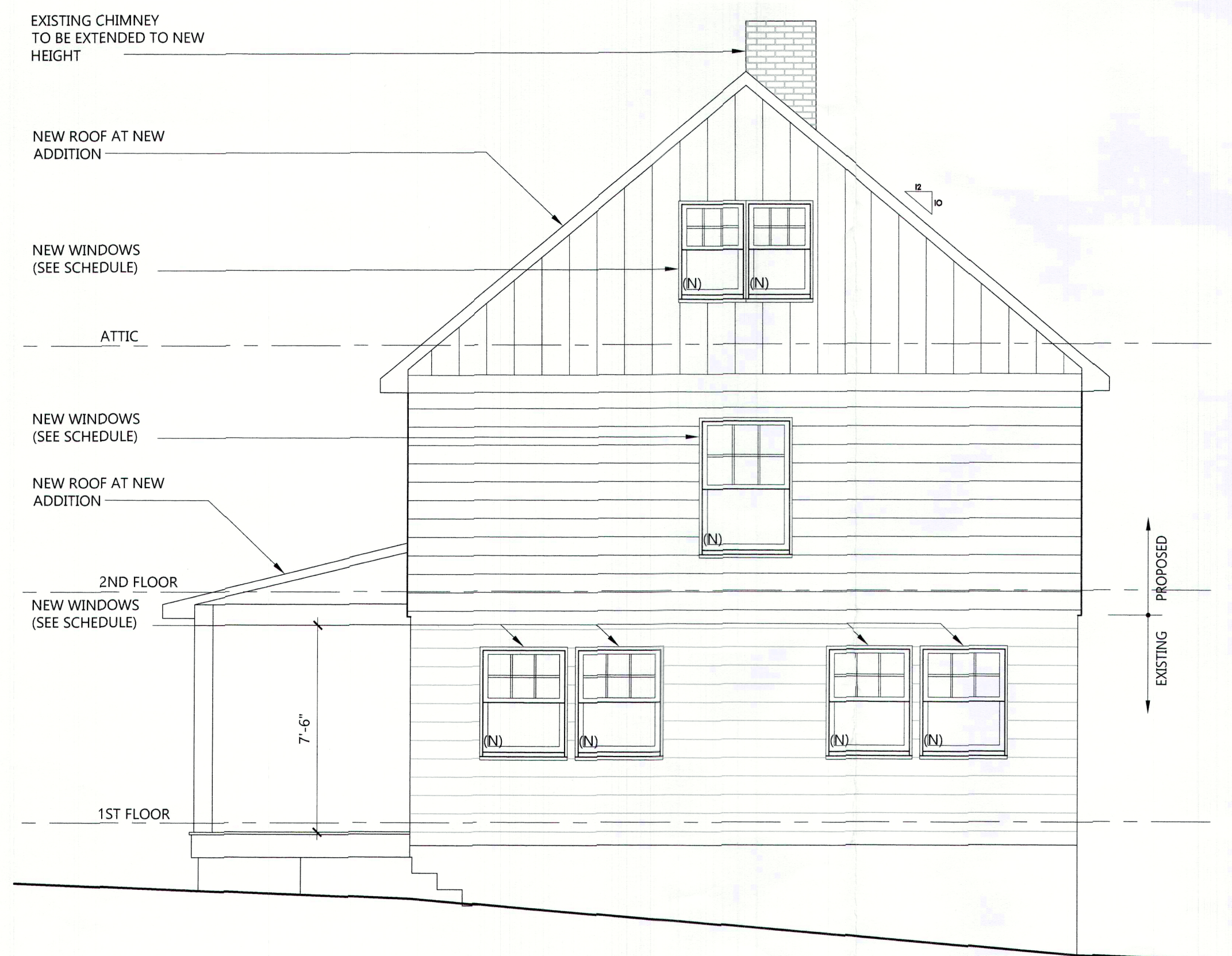
SHEET: 4 OF 5



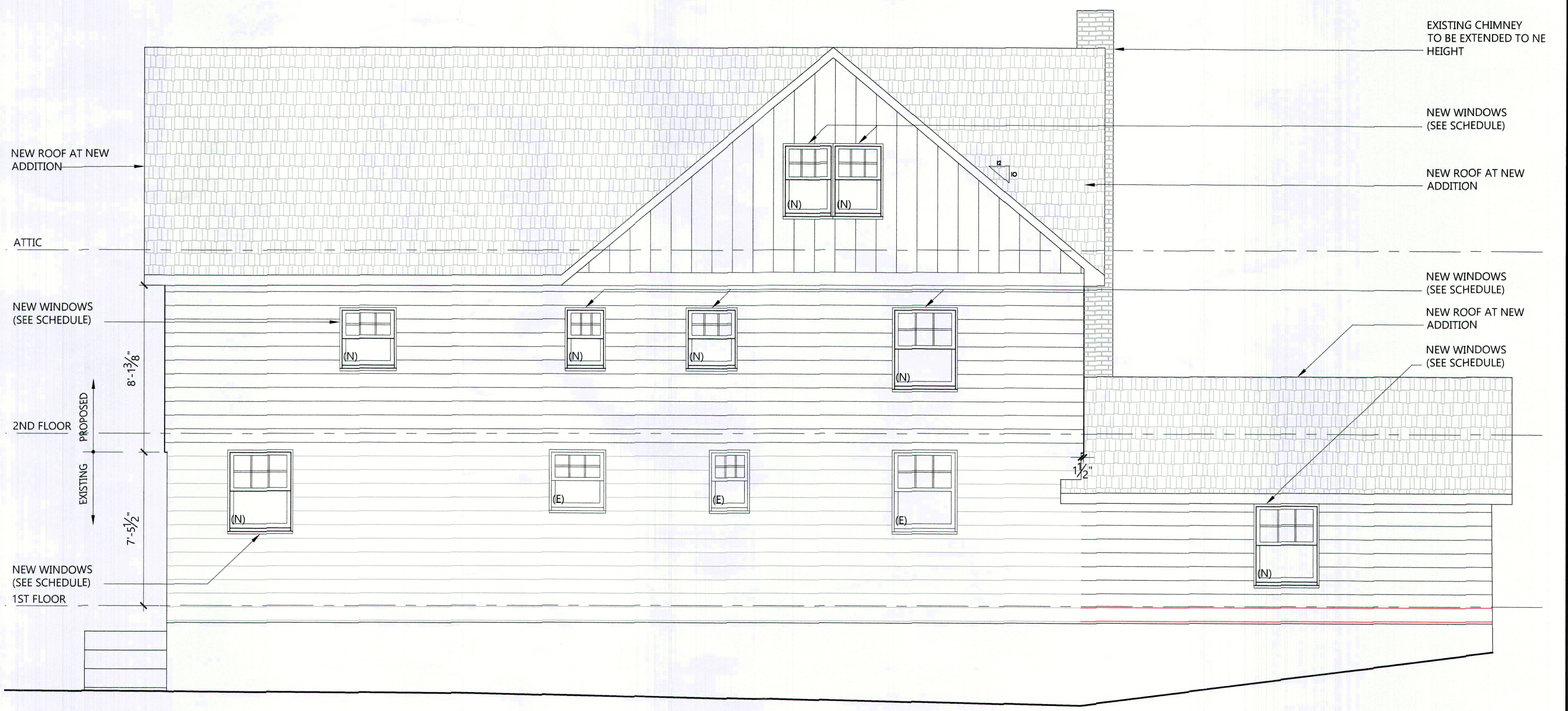
1 FRONT PROPOSED NORTH ELEVATION
A-05 SCALE: 1/4" = 1'-0"



2 FRONT PROPOSED WEST ELEVATION
A-05 SCALE: 1/4" = 1'-0"

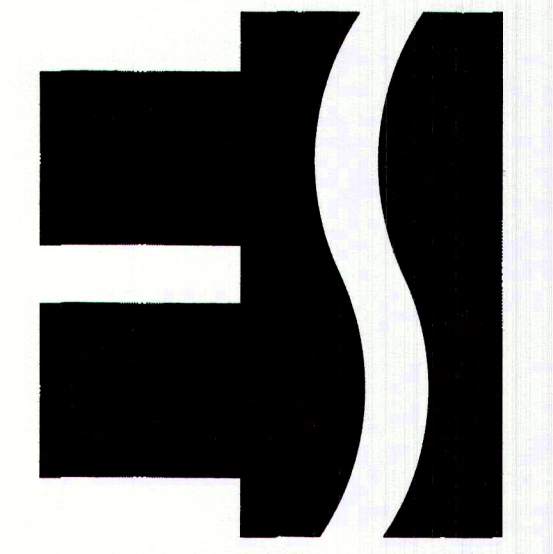


3 SIDE PROPOSED SOUTH ELEVATION
A-05 SCALE: 1/4" = 1'-0"



4 SIDE PROPOSED EAST ELEVATION
A-05 SCALE: 1/4" = 1'-0"

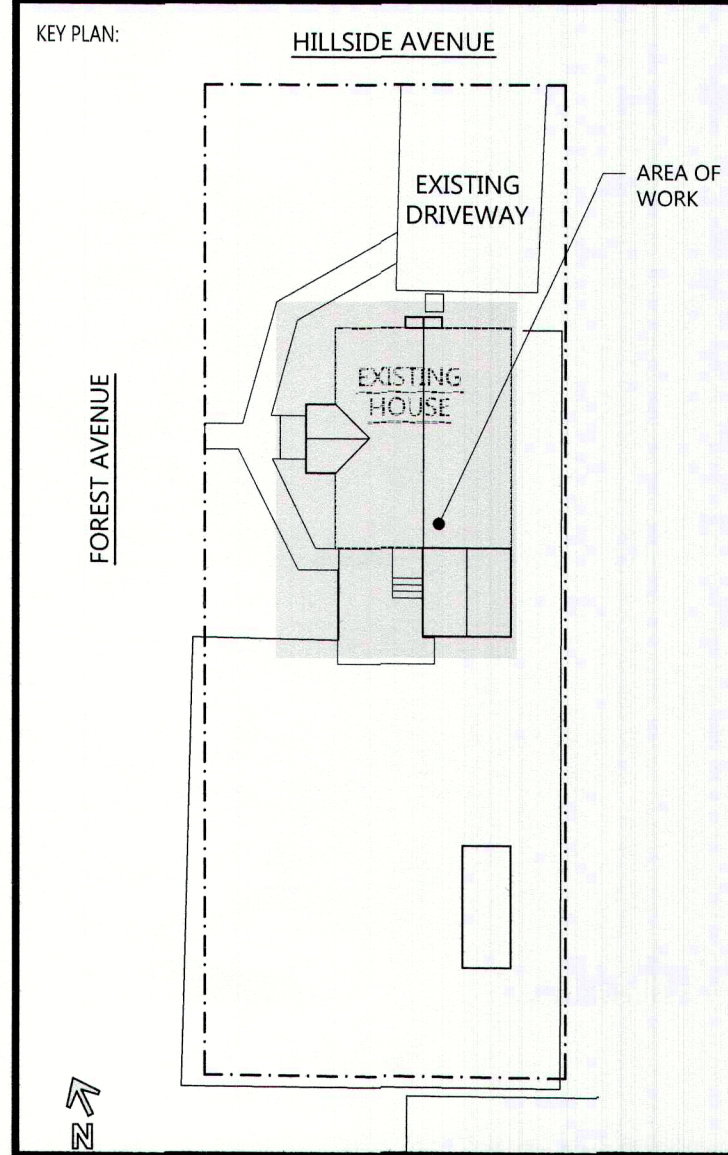
NOTE:
GUTTERS & RAIN LEADERS OMITTED FOR CLARITY.
G.C. SHALL INSTALL ALL REQUIRED GUTTERS & RAIN LEADERS.



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DRAWING TITLE:
**PROPOSED
ELEVATIONS**

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DRAWING NO:

A-05

SHEET: 5 OF 5